

SUMMER 2023 COMPLETION



OFFERING SUMMARY

Lease Rate:	\$15.00 SF/yr
Available SF:	14,040 SF
Min/Max SF:	7,020/14,040 SF
Lease Type:	NNN
Expenses:	\$5.00/SF
Building Size:	14,040 SF
Lot Size:	1.98 Acres
Parking:	26 spaces
Zoning:	B-3

PROPERTY OVERVIEW

This is Phase III of the Spring Prairie 3 building complex. Phase III is a Office/Flex building currently in pre leasing stage set to be completed in late Summer 2023. This location is ideal for any office/warehouse or showroom/warehouse suitable for contractors. This is a two suite building, each suite has 7,020 SF with one 14'x14' overhead door, 16' clear. (Vanilla shell build out for the office area is included, basic electric & plumbing in the warehouse sections). Shell completion set for Spring 2023. Still time to design your own space, pick your own flooring and colors.

Spring Prairie Phase I and II tenants include Cardinal Health, Salon Centric, Hot Yoga and Heavy Metal Fitness, among others. See attached PDF on Why Indiana! IEDC State marketing for all the great reasons to consider the move or expansion to this property in Indiana. INDOT traffic counts on Main Street are 20,232 car/day.

LOCATION OVERVIEW

Located on Main Street on the south side of Highland on the Schererville border. 1 block east of U.S. Highway 41 (Indianapolis Blvd). It sits just 1/2 block from the Highland Grove Retail shopping area which includes: Target, Best Buy, Kohl's, Petco, and Office Max. 1/2 block from Shoppes on Main: Whole Foods, Nordstrom Rack, DSW, White House Black Market, and Albert's Jewelers. Starbucks, Carrabba's, Old Navy, Walgreens, Meijer Olive Garden, Speedway and more are also nearby. 1 block west of Kennedy Avenue, 2 ¾ miles southwest of Ridge Road, 3 ½ miles south of I-80/94 and 2 1/2 miles north of US Highway 30, 3 1/4 miles east of Illinois State Line.

JUNE PROGRESS PHOTOS



For Information Contact:

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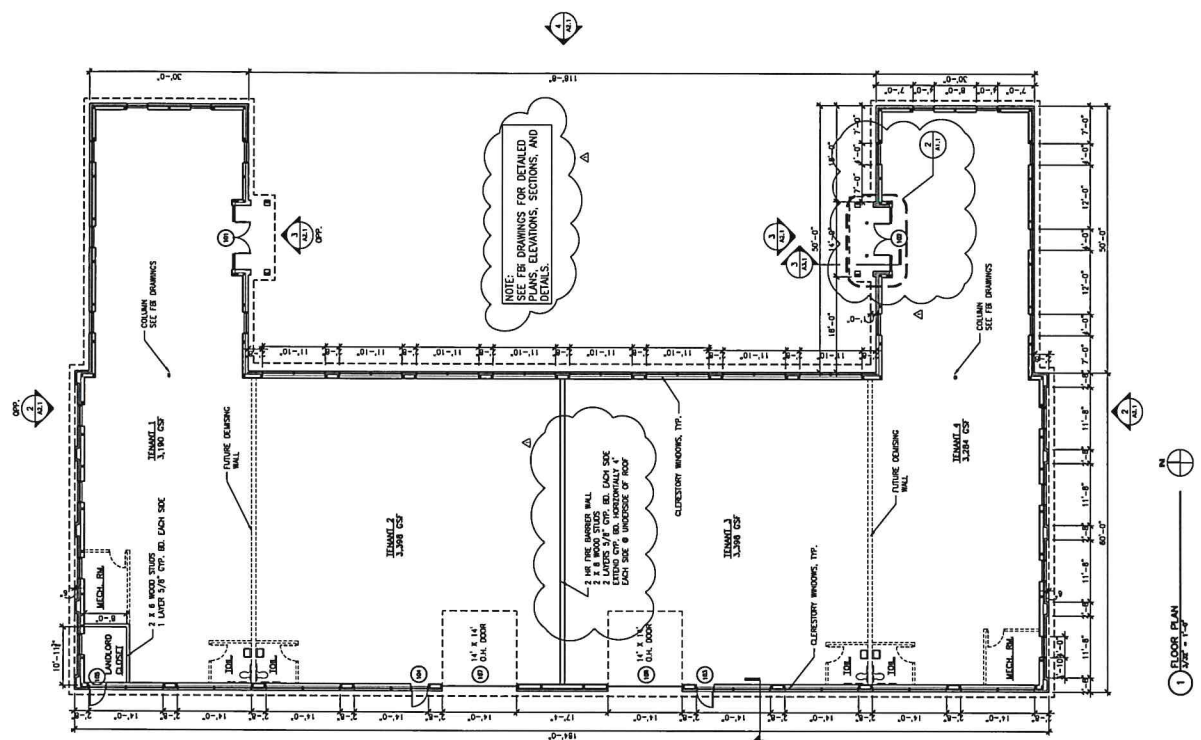


PROPOSED RETAIL PROJECT
325 MAIN STREET
HIGHLAND, INDIANA 46322

PROJECT NO.	11111
SHEET NO.	1
DATE	1/1/2010
SCALE	AS SHOWN
DESIGNED BY	NJG
CHECKED BY	NJG
DATE	1/1/2010
PROJECT	PROPOSED RETAIL PROJECT
LOCATION	325 MAIN STREET, HIGHLAND, INDIANA 46322

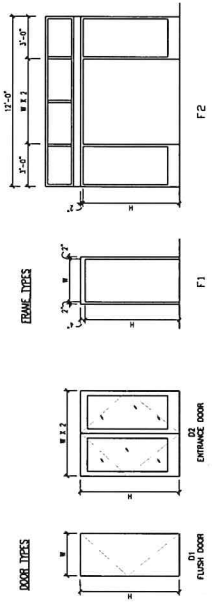
FLOOR PLAN

A1.1

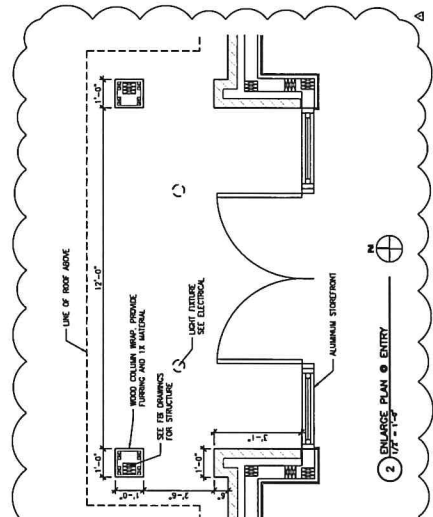


DOOR NUMBER	SIZE (W X H)	QTY	MATL	TYPE	FRAME	MATL	TYPE	HASCHWARE SET	NOTES
101	3'-0\"/>								

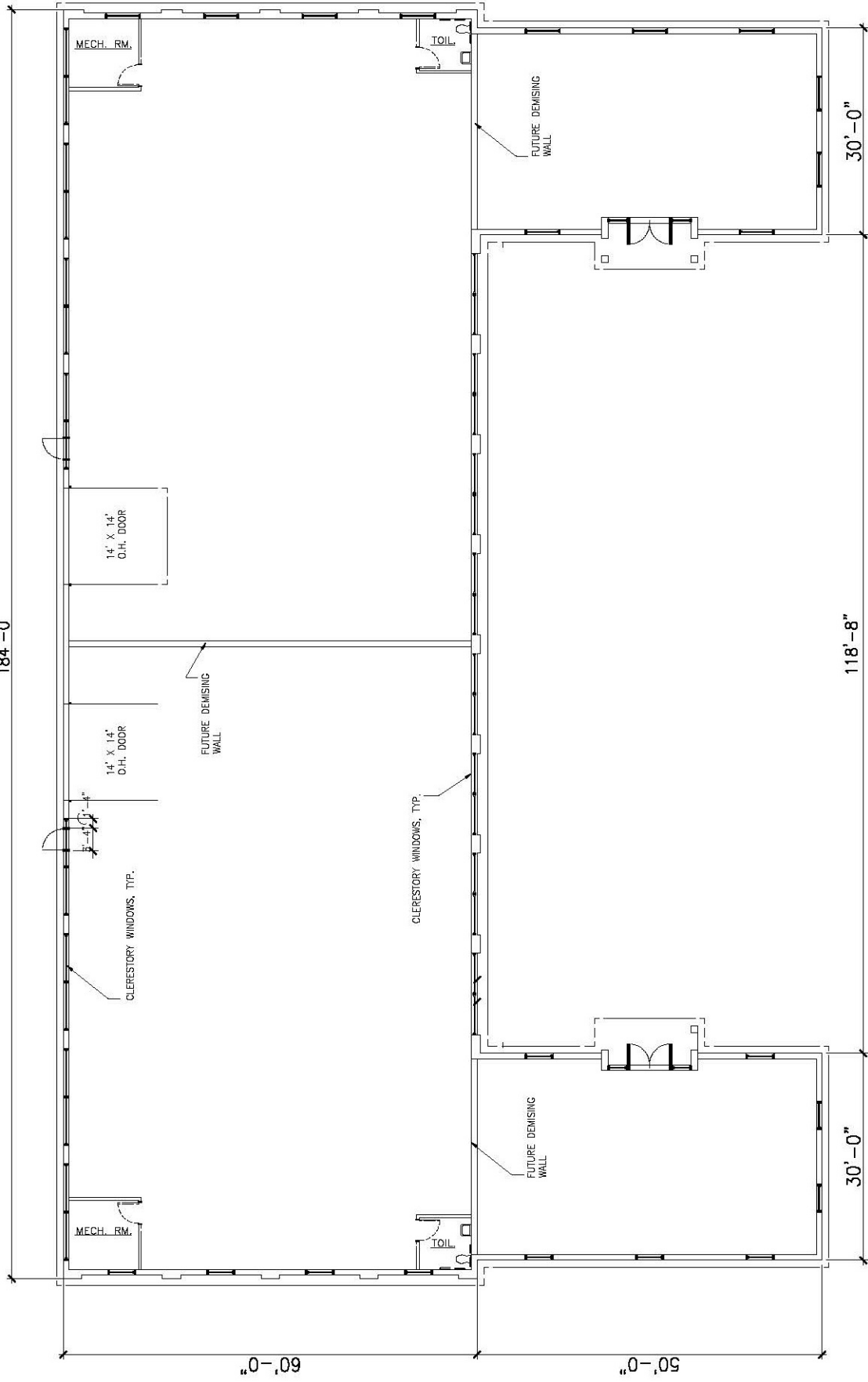
NOTES:
1 STEEL CLAD INSULATED DOOR W/ TROLLEY OPERATOR & PUSHBUTTON CONTROL @ INTERIOR



DOOR HIGHLIGHT
SEE F1
3 PINE BUTT BRIMES, 4 1/2\"/>



2 ENLARGED PLAN @ ENTRY



UNIT 1-7020 S.F.

UNIT 2-7020 S.F.

14,040 SQUARE FEET

DRONE AERIAL



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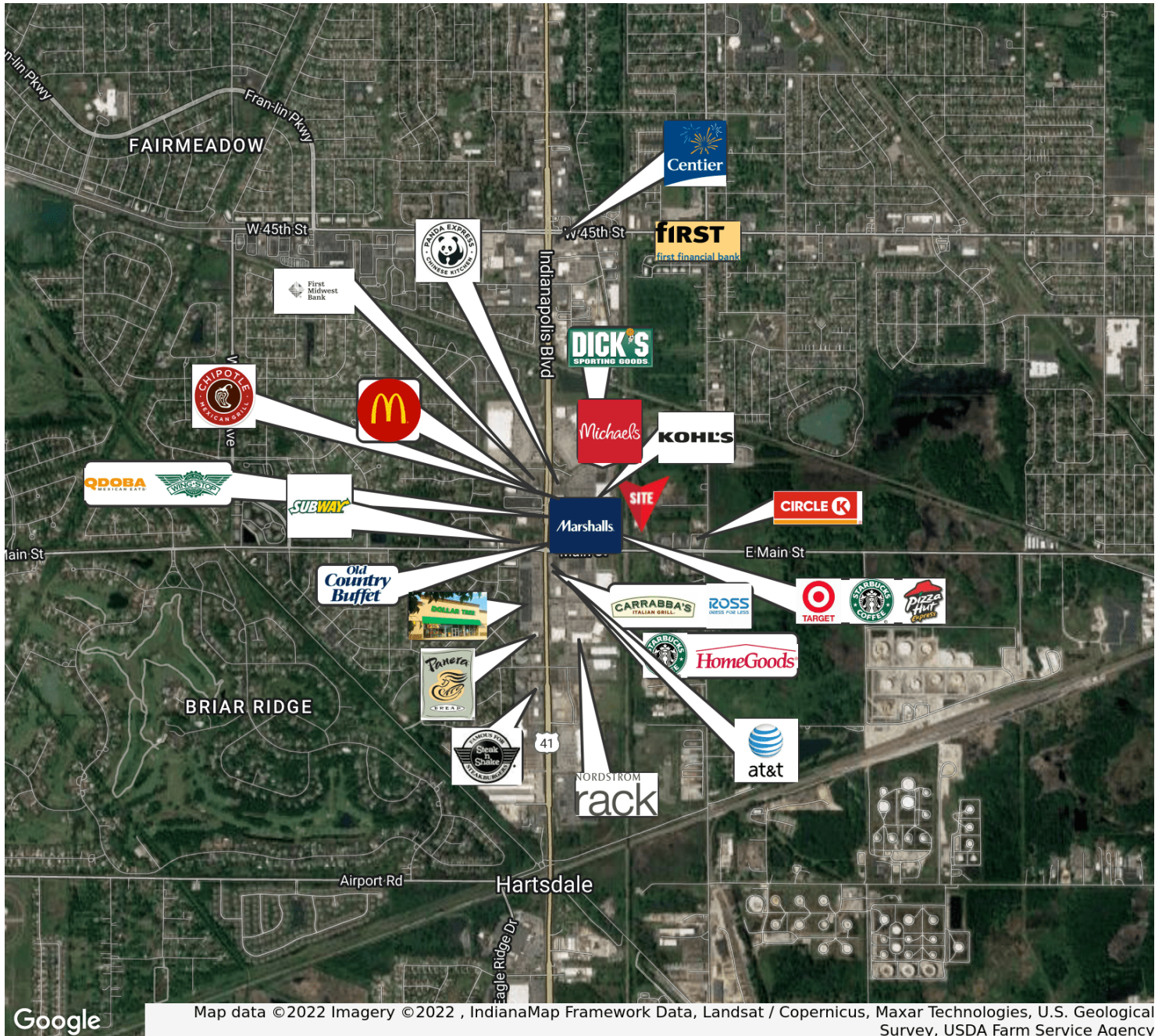
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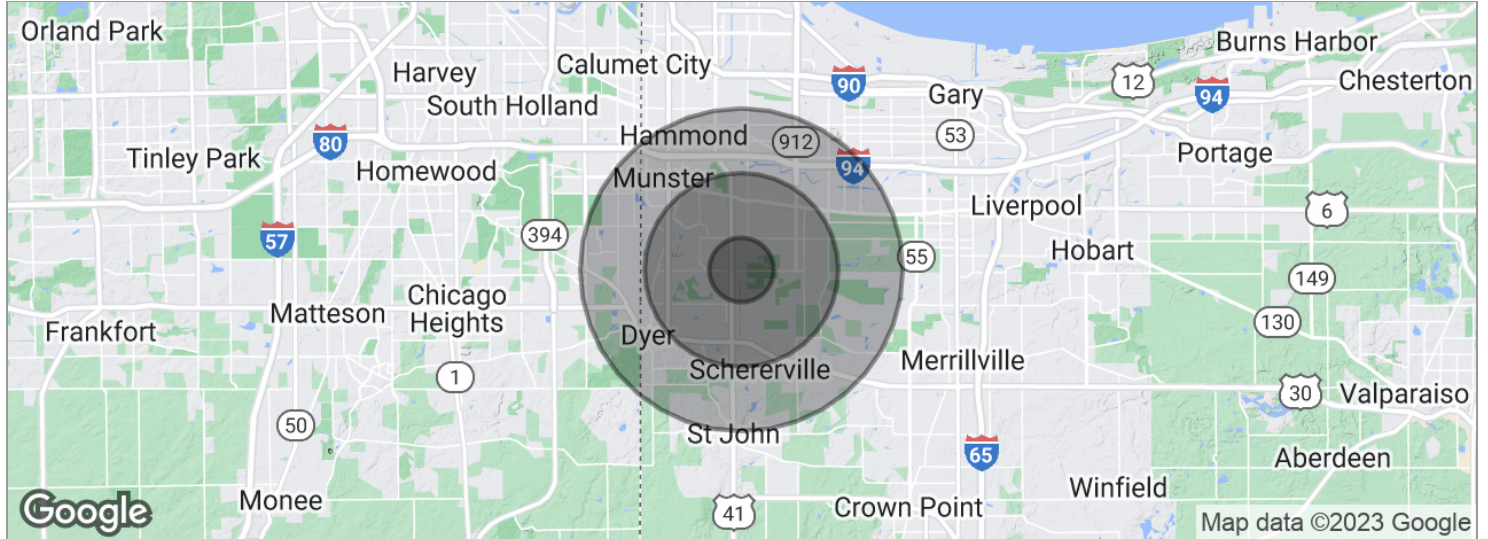
AERIAL TOP DOWN



RETAILER MAP



DEMOGRAPHICS MAP



POPULATION

	1 MILE	3 MILES	5 MILES
Total population	5,965	72,731	187,964
Median age	44.5	41.9	39.5
Median age (Male)	41.5	40.0	38.0
Median age (Female)	49.0	44.1	41.2

HOUSEHOLDS & INCOME

	1 MILE	3 MILES	5 MILES
Total households	2,696	29,322	71,855
# of persons per HH	2.2	2.5	2.6
Average HH income	\$70,800	\$77,870	\$72,664
Average house value	\$182,487	\$189,602	\$195,619

** Demographic data derived from 2020 ACS - US Census*